

12TH PLACE RESIDENCES

SCOPE

NEW 8 UNIT APARTMENT BUILDING ON A VACANT LOT.
NEW MEP SERVICES. SITE IMPROVEMENTS
INCLUDING BUT NOT LIMITED TO PARKING, BIO-
RETENTION, AND TREES PER CIVIL DRAWINGS.

2611 12TH PLACE SE
WASHINGTON, DC 20020

BZA SUBMISSION

OWNER:
RUPSHA 2011 LLC
4626 WISCONSIN AVE NW
SUITE 324
WASHINGTON, DC 20016

ARCHITECT:
NORTHEAST COLLABORATIVE ARCHITECTS DC, LLC
1015 15TH ST NW SUITE 600
WASHINGTON, DC 20005

CIVIL/LANDSCAPE:
SERA ENGINEERED
322 RITTENHOUSE ST NW
WASHINGTON, DC 20011

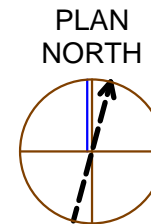
DRAWING LIST

ID	NAME
BZA-00	COVER SHEET
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LOCATION MAP (NTS)



PROJECT
LOCATION



2611 12th Place SE Zoning			
	Allowed	Existing	Proposed
Square & Lot Number		5875 0924	5875 0924
Lot area		7,048 sf	7,048 sf
Zoning	RA-1	RA-1	RA-1
Use	Residential Apartment	Residential Apartment	Residential Apartment
Building Height	40'	-	36'
Stories	3	-	3 plus cellar
FAR	0.9= 6,343 1.08(IZ)=7,611	-	1.054= 7,429
GFA		-	7,429 1ST = 2,517 2ND = 2,456 3RD = 2,456
Lot Occupancy (building area/lot area)	40% = 3,663 sf	-	36%= 2,517
Rear Yard Set Back	20'	-	20'-0"
Side Yard Set Backs	minimum of 3" per 1' of height but not less than 8'	-	12'-6 1/2" on the south 35'-0 1/2" on the north
Green Area Ratio	0.4	-	0.465
Courts	none, if provided, 10' min width open, 15' min width closed and 350 sf area close	none	none
#of units			8
Car Parking	1 per 3 units after 4 units= 8-4/3=2 spaces		2
Bicycle Parking	1 per 3 units for long term= 8/3=3 spaces 1 per 20 units for short term= 1 space		3 First Floor 1

BUILDING AREA:

Cellar Floor Area: 2,517 sf
1st Floor Area: 2,517 sf
2nd Floor Area: 2,456 sf
3rd Floor Area: 2,456 sf
Total Area: 9,946 sf

IZ UNIT- UNIT 102

UNIT MIX AND SIZES		
	TYPE	SIZE
CELLAR		
001	3BD	999
002	3BD	999
FIRST		
2 Type B ADA		
101	3BD	970
102	3BD	970
SECOND		
201	3BD	1023
202	3BD	1023
THIRD		
301	3BD	1023
302	3BD	970
TOTAL MIX OF TYPES		
8	3BD	

12TH PLACE RESIDENCES

2611 12TH PLACE SE
WASHINGTON, DC 20020

Board of Zoning Appeals
District of Columbia
CASE NO. 20736
EXHIBIT NO. 88

COVER SHEET

BZA-00



AERIAL VIEW

LOOKING NORTHEAST



12TH PLACE RESIDENCES

2611 12TH PLACE SE
WASHINGTON, DC 20020

EXISTING
PHOTOGRAPHS

BZA-01





LOOKING WEST



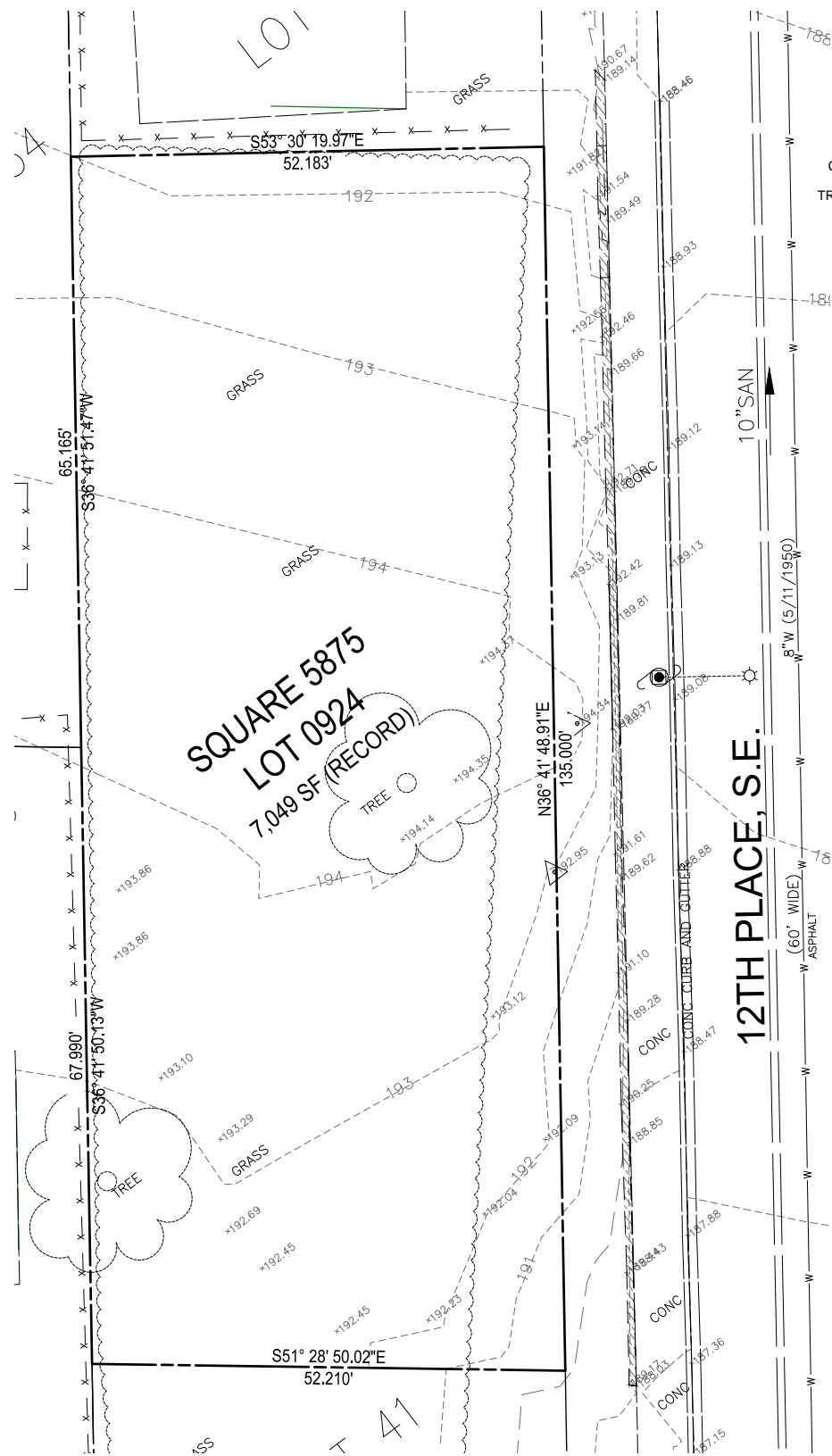
LOOKING SOUTHWEST

12TH PLACE RESIDENCES

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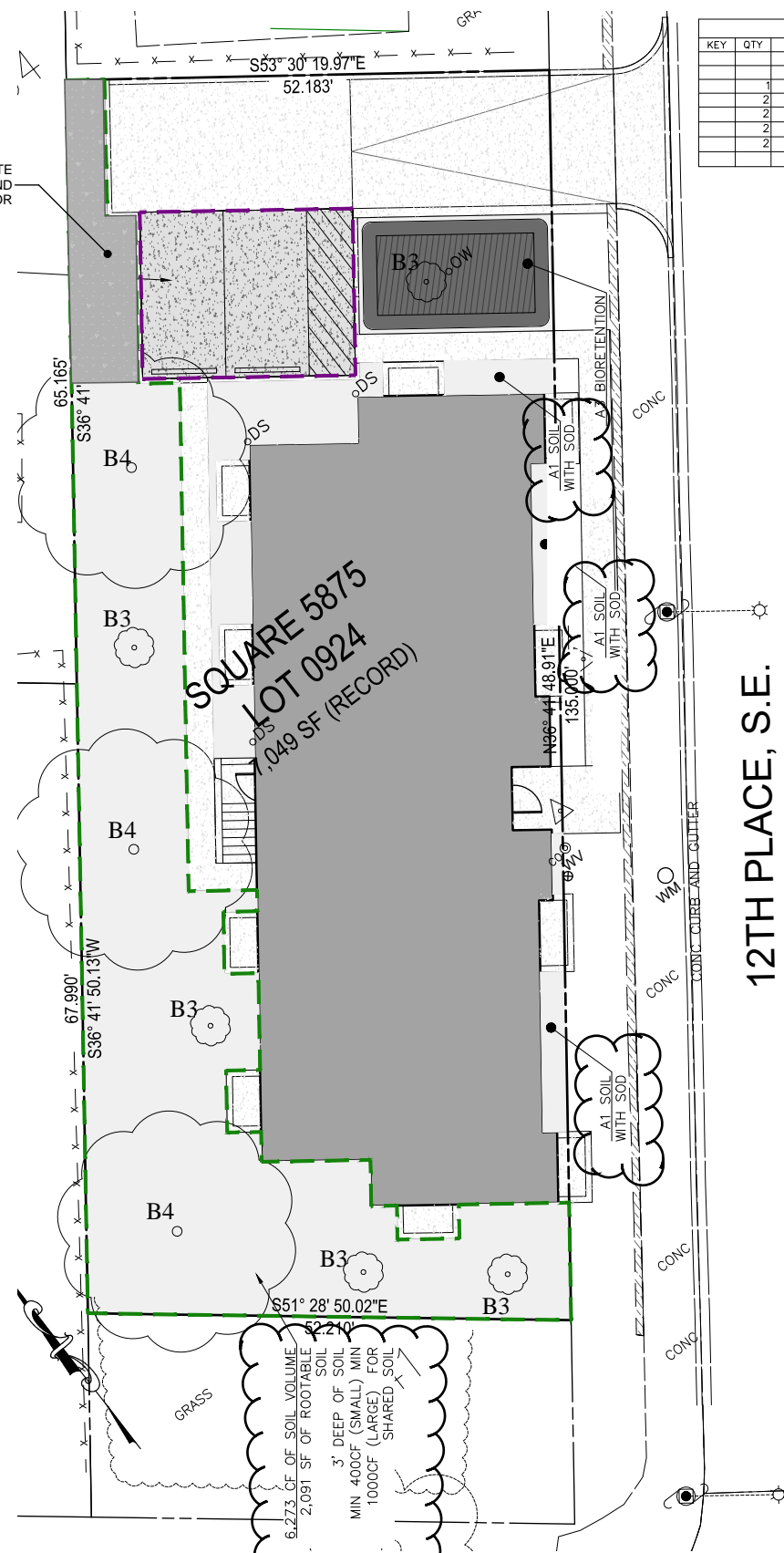
EXISTING
PHOTOGRAPHS
BZA-02





1 CIVIL EXISTING CONDITIONS

NOT TO SCALE



2 CIVIL SITE PLAN

NOT TO SCALE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	HEIGHT	SPREAD	REMARKS	GAR CATEGORY	NATIVE
		TREE ON SITE								
1		Acer rubrum	Red Maple	3" CALIPER		25'-40'	40'-50'	LARGER TREE	B4	Y
2		Cornus florida	FLOWERING DOGWOOD	5" CALIPER		25'-30'	35'-40'	SMALL TREE	B3	Y
2		Betula nigra	River Birch	4" CALIPER		60'-80'	40'-50'	LARGER TREE	B4	Y
2		Carpinus caroliniana	Carpinus caroliniana	3" CALIPER		30'-40'	20'-35'	SMALL TREE	B3	Y
2		Cornus florida	FLOWERING DOGWOOD	5" CALIPER		25'-30'	35'-40'	SMALL TREE	B2	Y

PLANTS NOT SHOWN IN EXACT LOCATION. PLEASE PLAN IN FASHION IN ORDER TO DIVERSIFY PLANT SPECIES AND GROWTH. CONSULT OF CONSTRUCTION CLE.

Green Area Ratio Scoresheet										
Address: 2611 12th Pl SE		Square	Lot	Zone District						
Other:		5875	924	RA-1						
Lot size (enter this value first) *		Lot area (sf)	Minimum Score	Multiplier	GAR Score					
		7,049	.4		SCORE: 0.471					
Landscape Elements										
		Square Feet	Factor	Total						
A Landscaped areas (select one of the following for each area)										
		square feet								
1	Landscaped areas with a soil depth < 24"	395	0.30	118.4						
2	Landscaped areas with a soil depth ≥ 24"	2,091	0.60	1,254.4						
3	Bioretention facilities	231	0.40	92.5						
B Plantings (credit for plants in landscaped areas from Section A)										
		square feet		Native Bonus						
		square feet		square feet	square feet					
1	Groundcovers, or other plants < 2' height		0.20	0	0					
2	Plants ≥ 2' height at maturity	# of plants	0.30	0	0					
		- calculated at 9-sf per plant								
3	New trees with less than 40-foot canopy spread	# of trees	0.50	0	0					
		- calculated at 50 sq ft per tree								
4	New trees with 40-foot or greater canopy spread	# of trees	1500	0.60	6	6	900.0			
		- calculated at 250 sq ft per tree								
5	Preservation of existing tree 6" to 12" DBH	# of trees	750	0.70	3	3	525.0			
		- calculated at 250 sq ft per tree								
6	Preservation of existing tree 12" to 18" DBH	# of trees	0	0.70						
		- calculated at 600 sq ft per tree								
7	Preservation of existing trees 18" to 24" DBH	# of trees	0	0.70						
		- calculated at 1300 sq ft per tree								
8	Preservation of existing trees 24" DBH or greater	# of trees	0	0.80						
		- calculated at 2000 sq ft per tree								
9	Vegetated wall, plantings on a vertical surface	square feet	0.60	0	0					
C Vegetated or "green" roofs										
		square feet		square feet						
		square feet		square feet	square feet					
1	Over at least 2" and less than 8" of growth medium		0.60	0	0					
2	Over at least 8" of growth medium		0.80							
D Permeable Paving***										
		square feet		square feet						
		square feet		square feet	square feet					
1	Permeable paving over 6" to 24" of soil or gravel	0	0.40							
2	Permeable paving over at least 24" of soil or gravel	414	0.50	207.0						
E Other										
		square feet		square feet						
		square feet		square feet	square feet					
1	Enhanced tree growth systems***		0.40							
2	Renewable energy generation		0.50							
3	Approved water features		0.20							
		sub-total of sq ft =	5,381							
F Bonuses										
		square feet		square feet						
		square feet		square feet	square feet					
1	Native plant species	2,250	0.10	225.0						
2	Landscaping in food cultivation		0.10							
3	Harvested stormwater irrigation		0.10							
		Green Area Ratio numerator =		3,322						
*** Permeable paving and structural soil together may not qualify for more than one third of the Green Area Ratio score.										
Total square footage of all permeable paving and enhanced tree growth.										
207										

3 GAR SCORE CARD

NOT TO SCALE

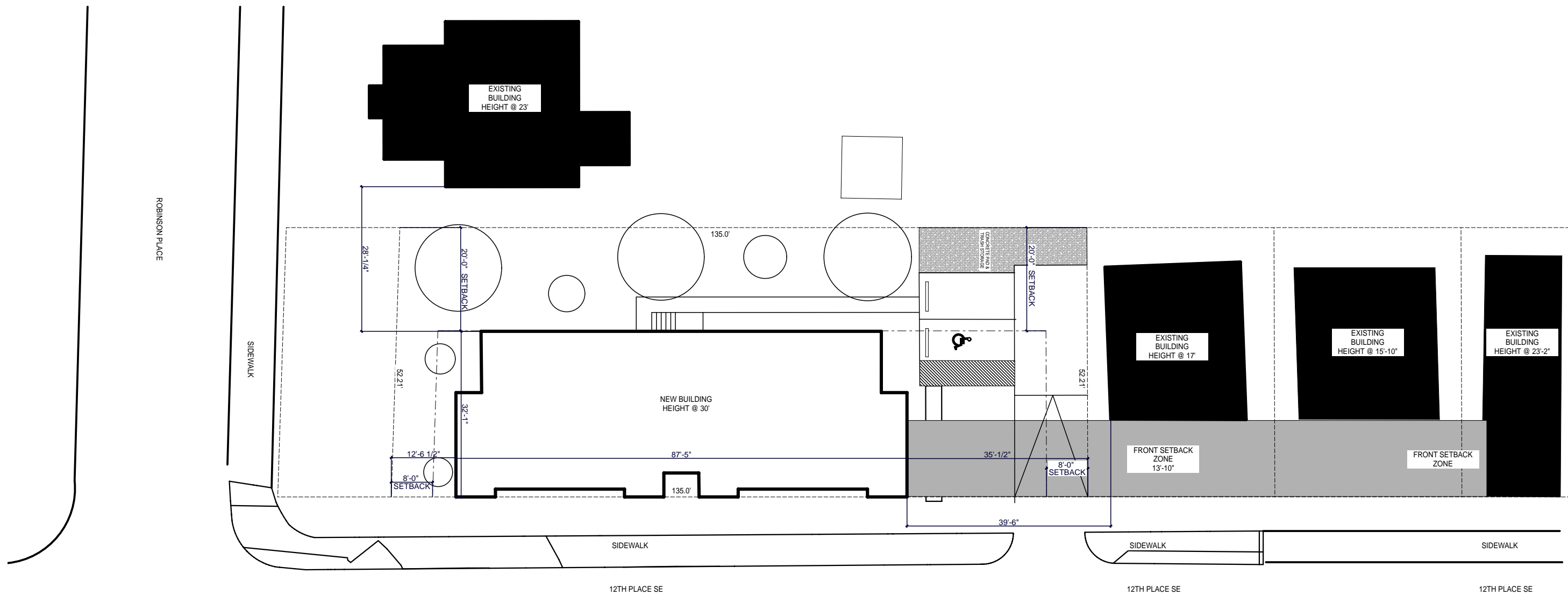


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CIVIL PLANS

BZA-03



1 NEIGHBORHOOD PLAN
 BZA-04 SCALE: 1" = 20'

THE PROPOSED BUILDING IS SET AWAY FROM THE EXISTING HOUSE AND ALLOWS FOR PROPER AIR AND LIGHT TO THE ADJACENT PROPERTIES. THE HEIGHT OF THE PROPOSED BUILDING IS WITHIN THE ZONING REGULATIONS. THE ARCHITECTURAL STYLE OF THE PROPOSED BUILDING IS IN LINE WITH OTHER BUILDINGS OF SIMILAR SIZE ALONG ROBINSON PLACE. THE BRICK AND SIDING USED ON THE EXTERIOR IS COMMON WITHIN THE NEIGHBORHOOD.

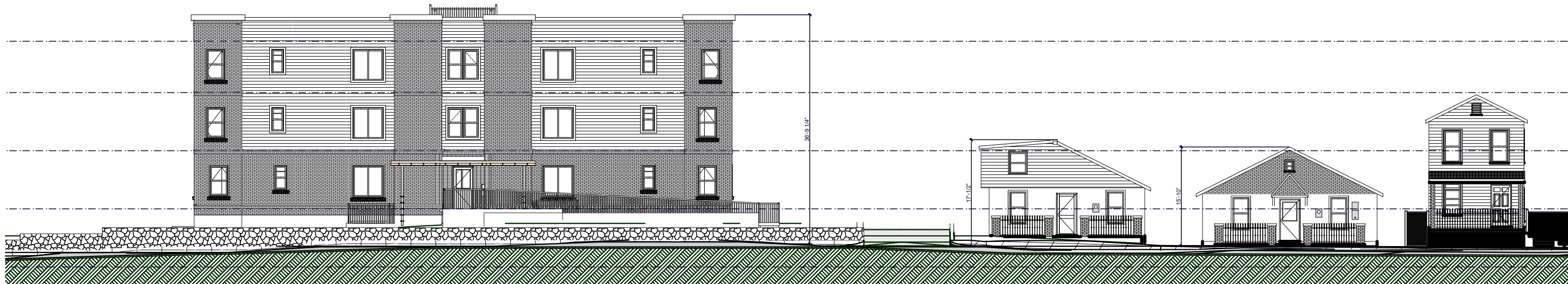
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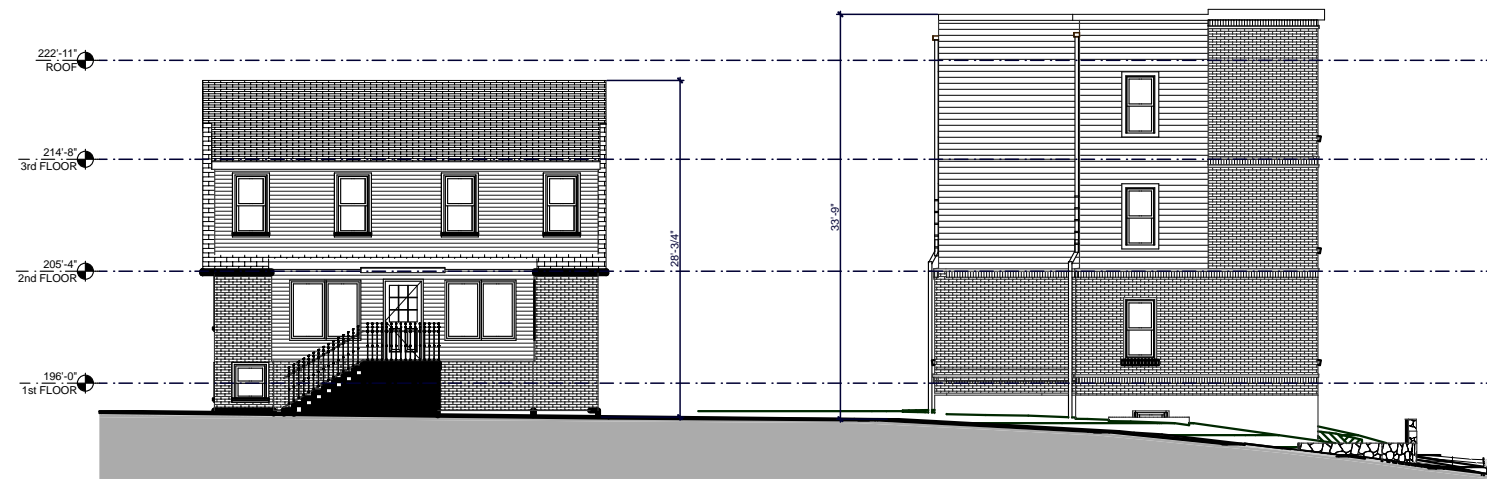
NEIGHBORHOOD PLAN

BZA-04

DATE: 6/20/18



1 EAST STREET ELEVATION
 BZA-05 SCALE: 1/16" = 1'-0"



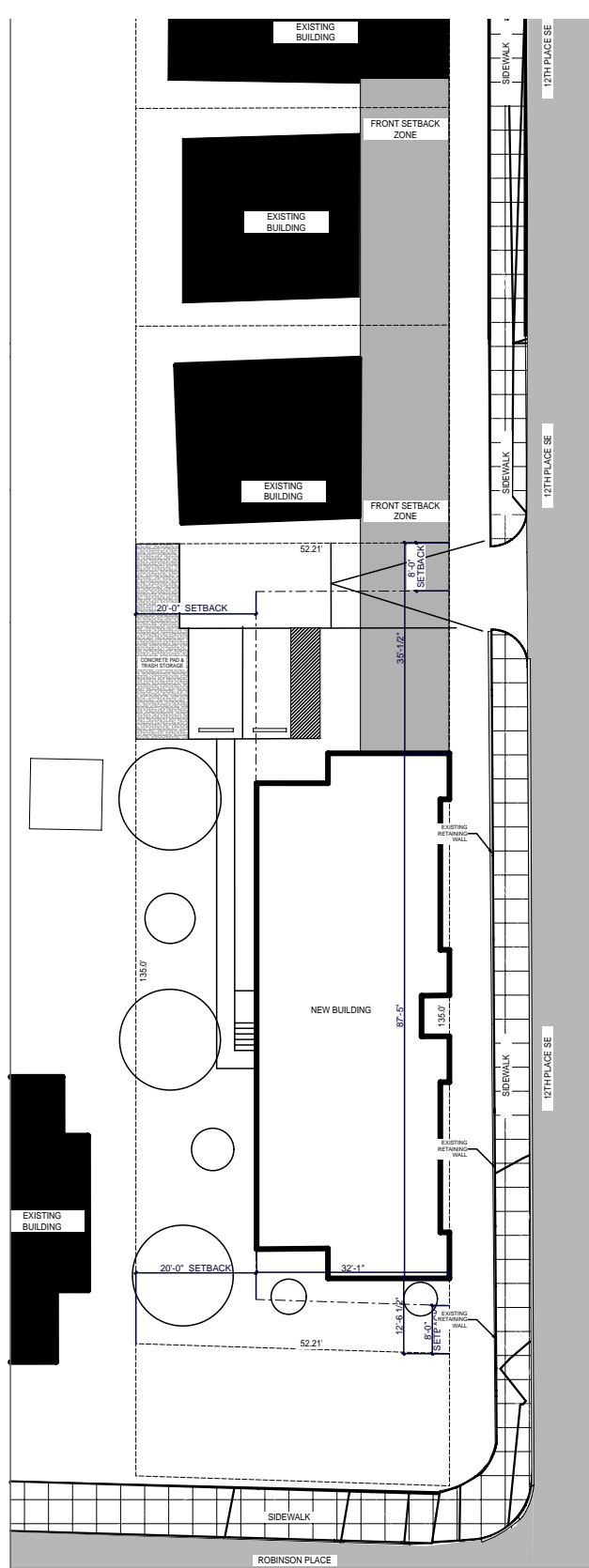
2 SOUTH STREET ELEVATION
 BZA-05 SCALE: 1/16" = 1'-0"

12TH PLACE RESIDENCES

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SITE/STREET
 ELEVATIONS
BZA-05





1 NEW SITE PLAN WITH SETBACKS

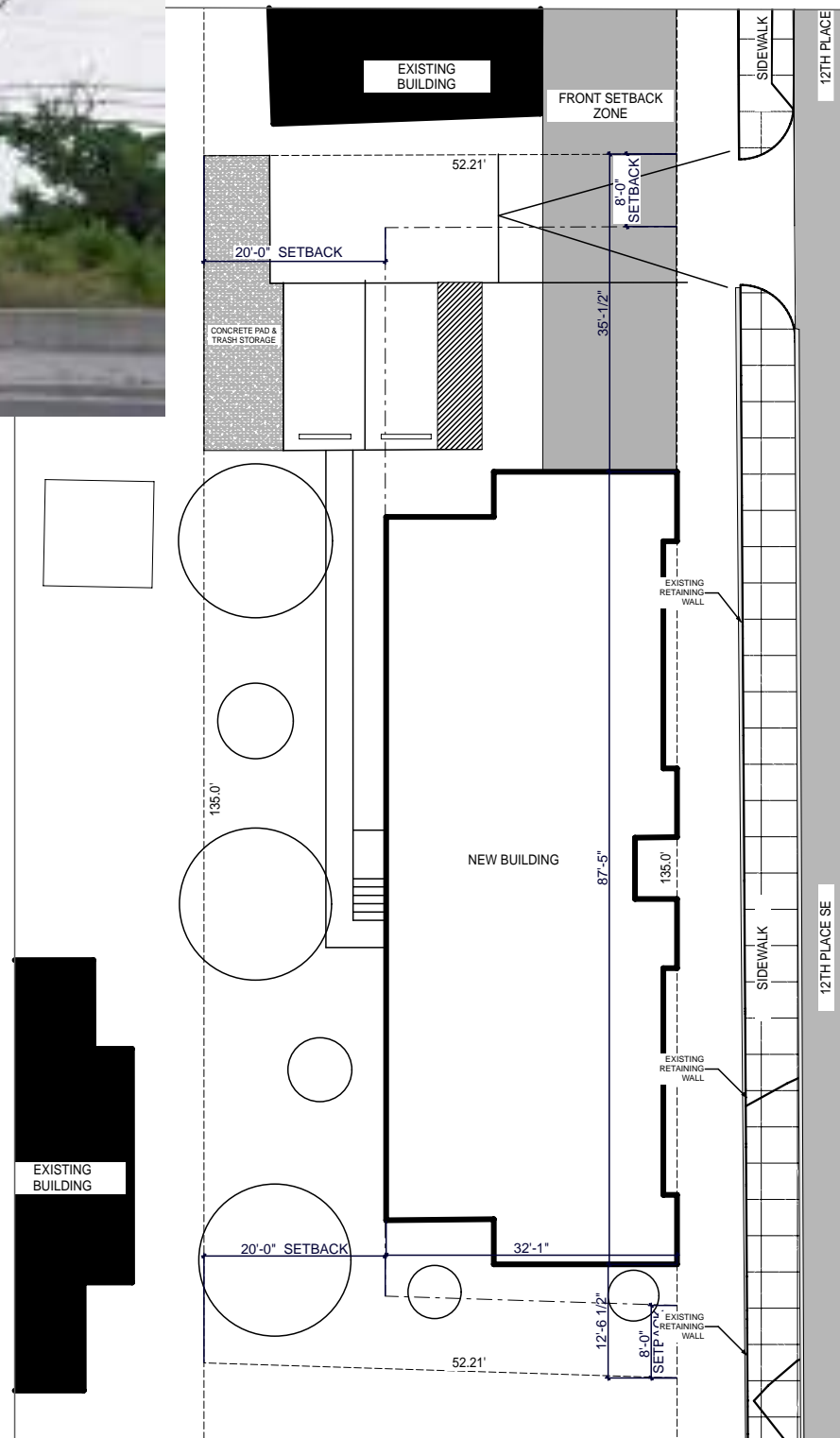
SCALE: 1" = 30'



EXISTING SIDEWALK
EXISTING RETAINING WALL

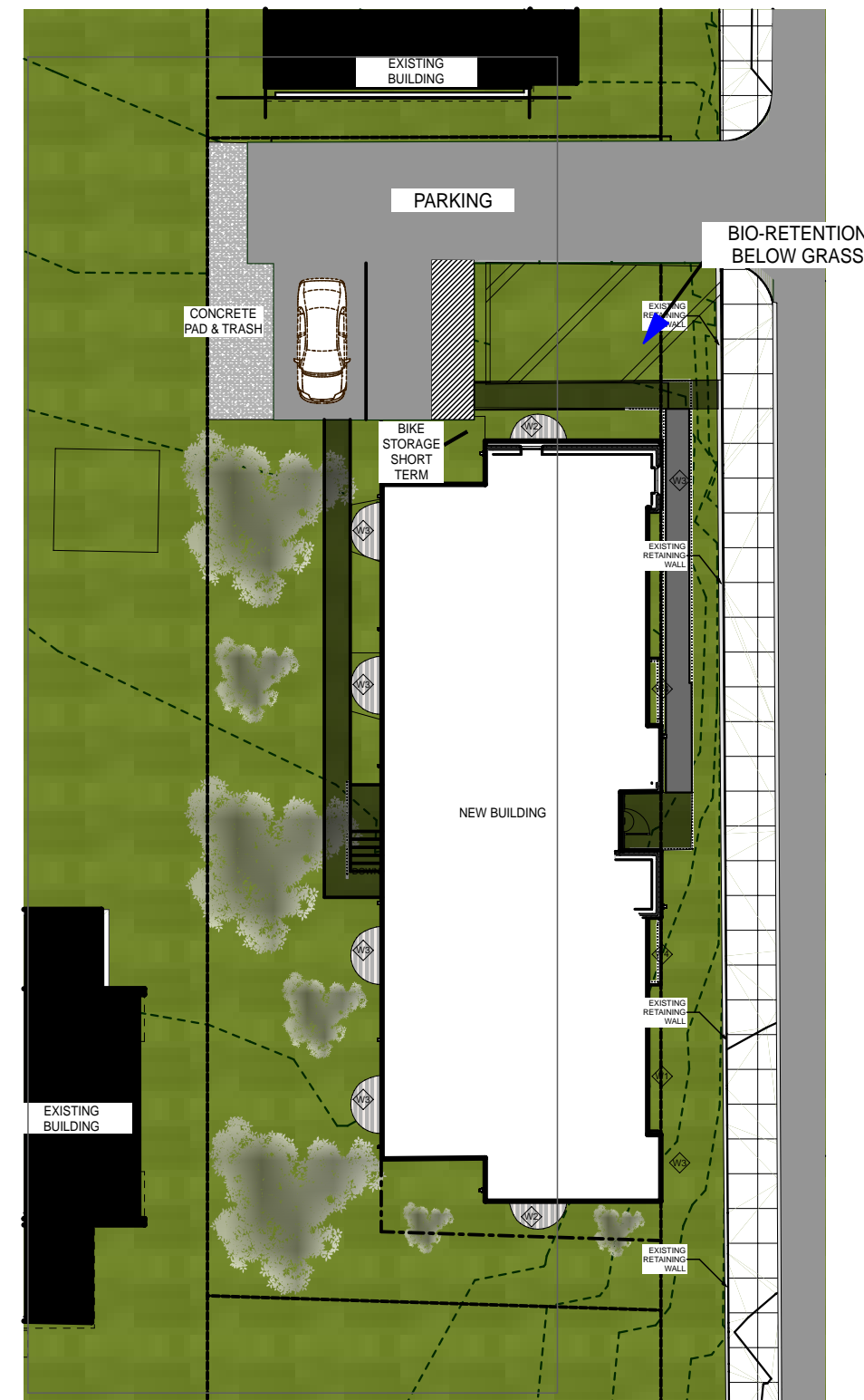
LEGEND

- - - SET BACK LINE
- - - PROPERTY LINE



2 NEW SITE PLAN WITH SETBACKS

SCALE: 1" = 20'



3 NEW SITE PLAN

SCALE: 1" = 20'

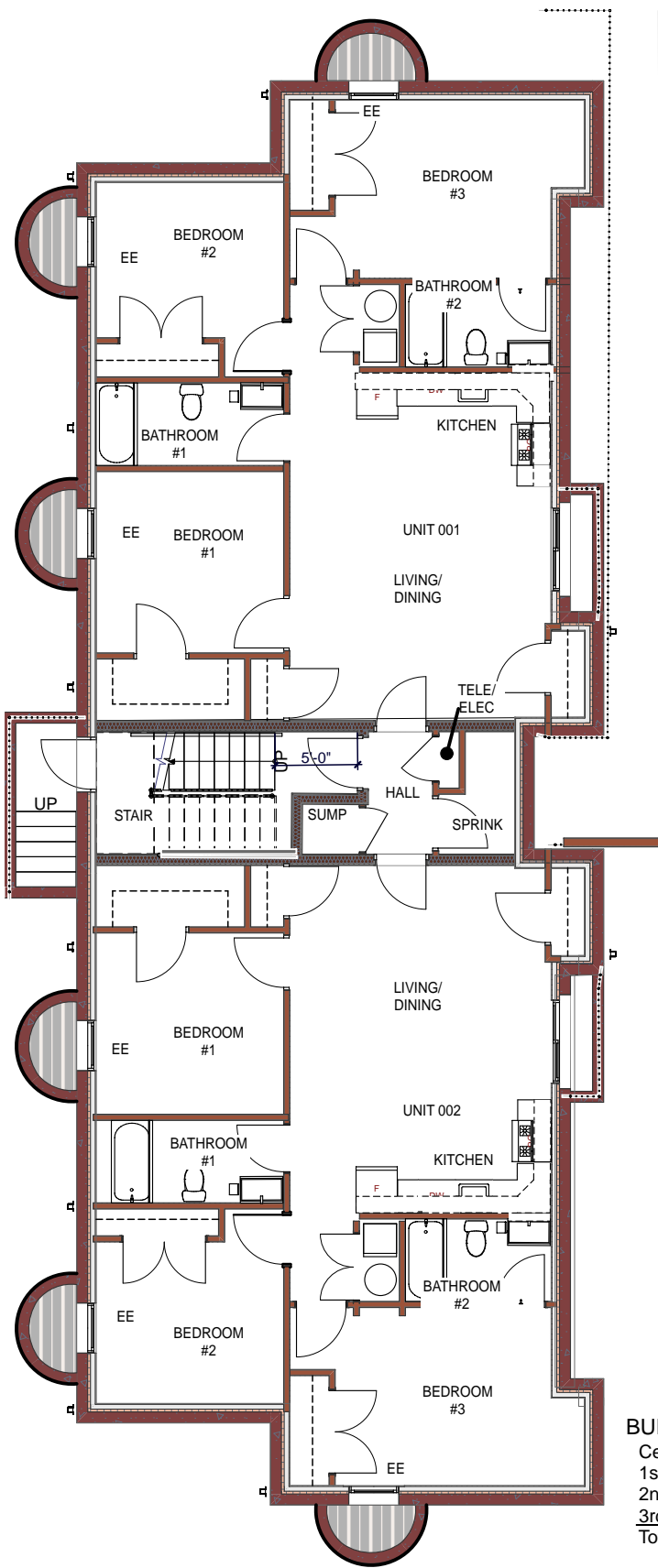
12TH PLACE RESIDENCES

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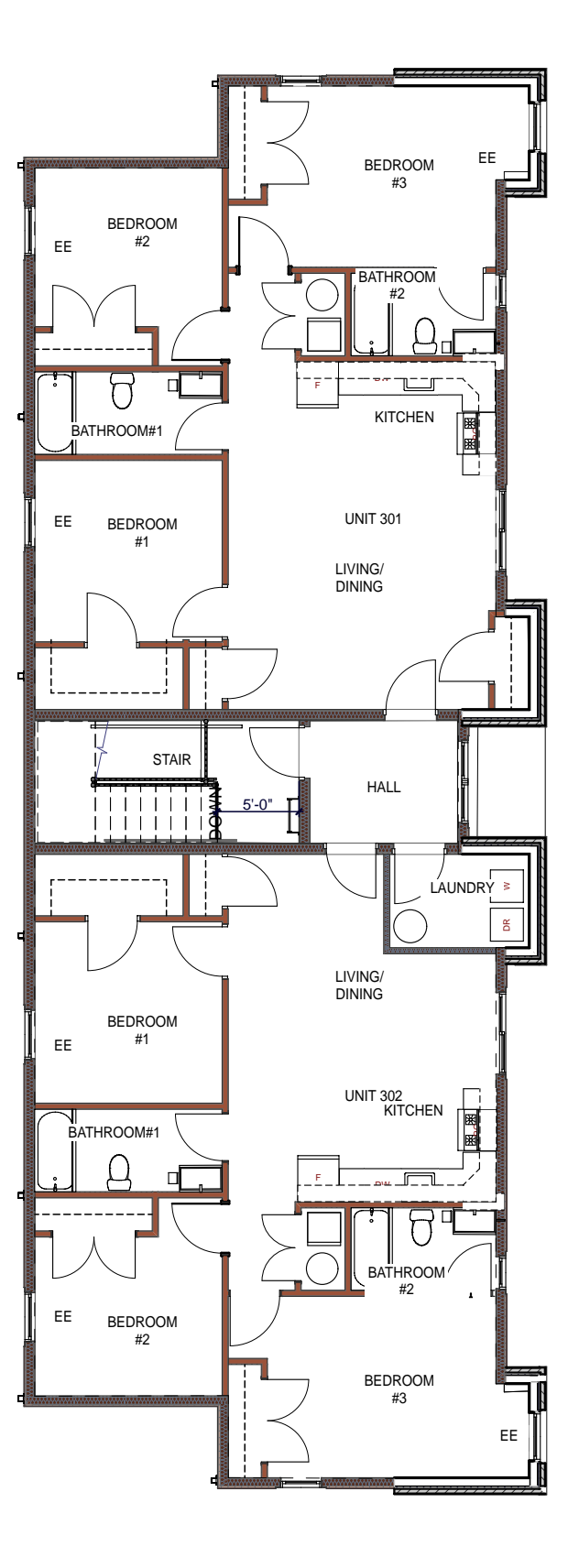
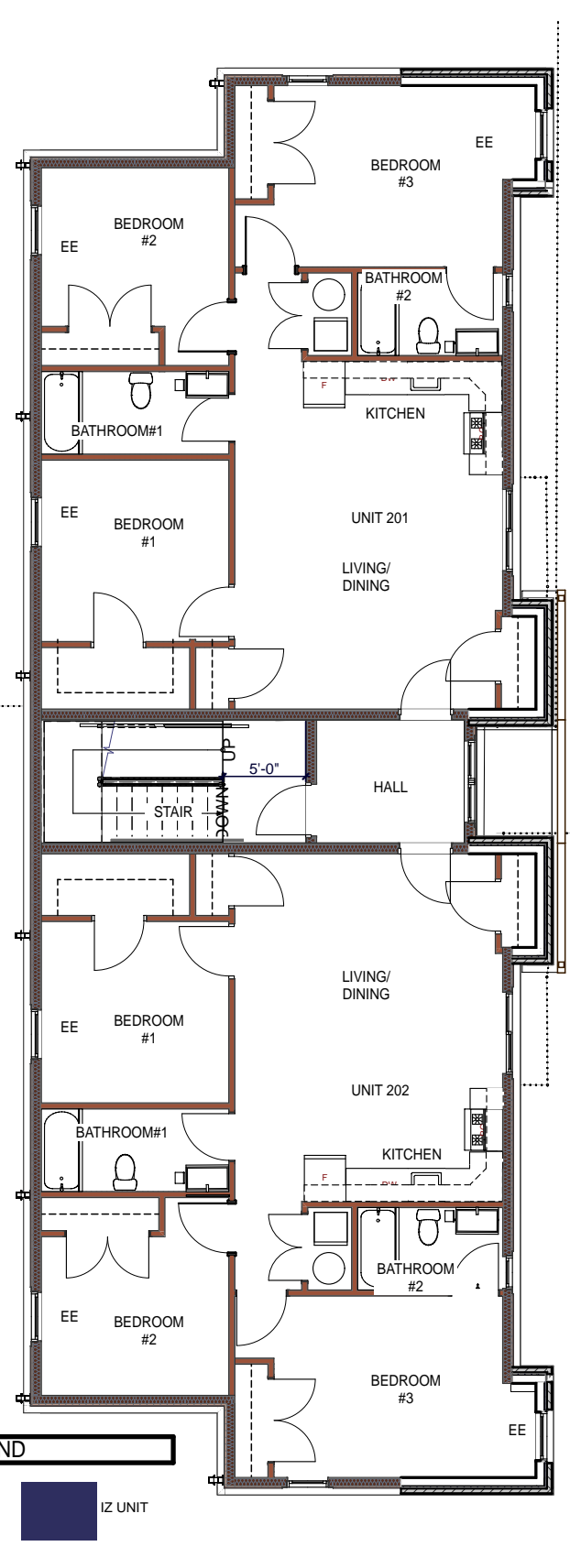
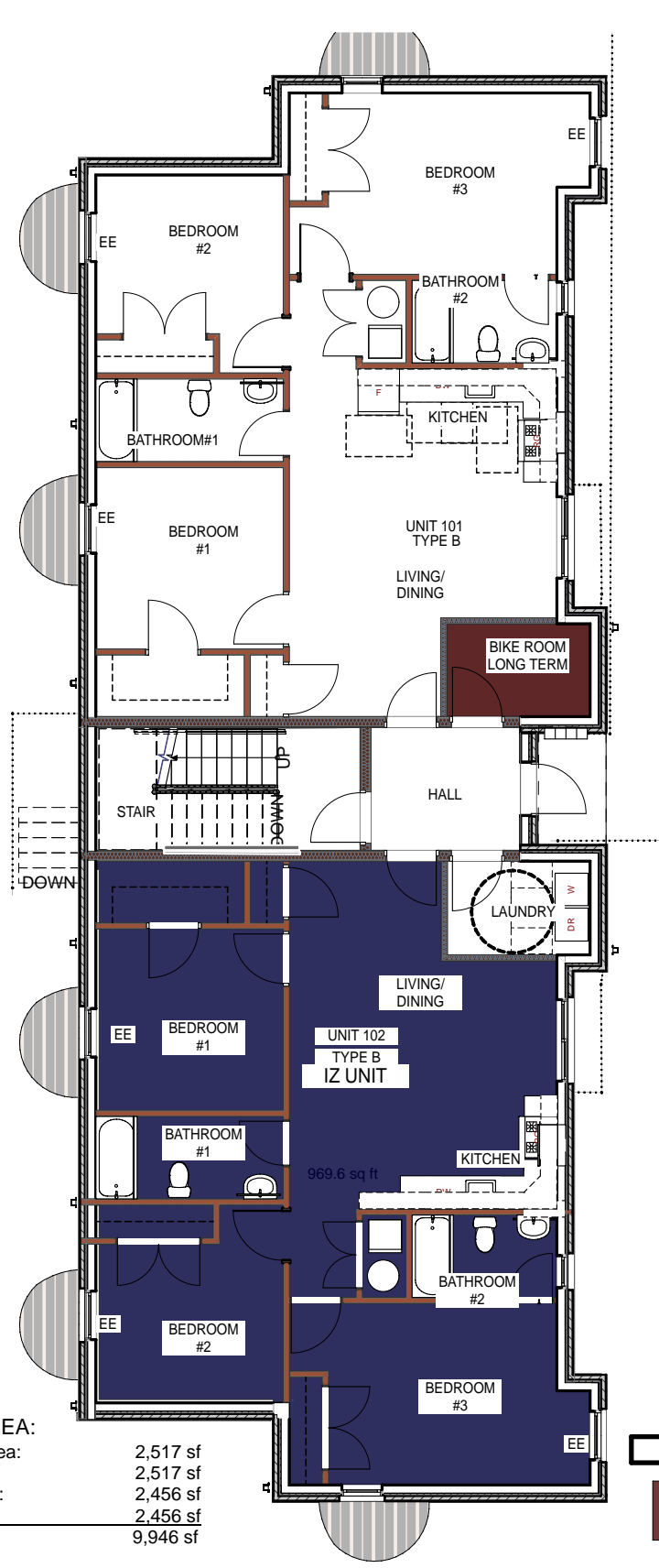
ARCH SITE PLANS

BZA-06





BUILDING AREA:
 Cellar Floor Area: 2,517 sf
 1st Floor Area: 2,456 sf
 2nd Floor Area: 2,456 sf
 3rd Floor Area: 2,456 sf
 Total Area: 9,946 sf



1 CELLAR PLAN
 SCALE: 3/32" = 1'-0"

2 1ST FLOOR PLAN
 SCALE: 3/32" = 1'-0"

3 2ND FLOOR PLAN
 SCALE: 3/32" = 1'-0"

4 3RD FLOOR PLAN
 SCALE: 3/32" = 1'-0"

12TH PLACE RESIDENCES

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FLOOR PLANS
BZA-07





1 EAST ELEVATION
SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/32" = 1'-0"

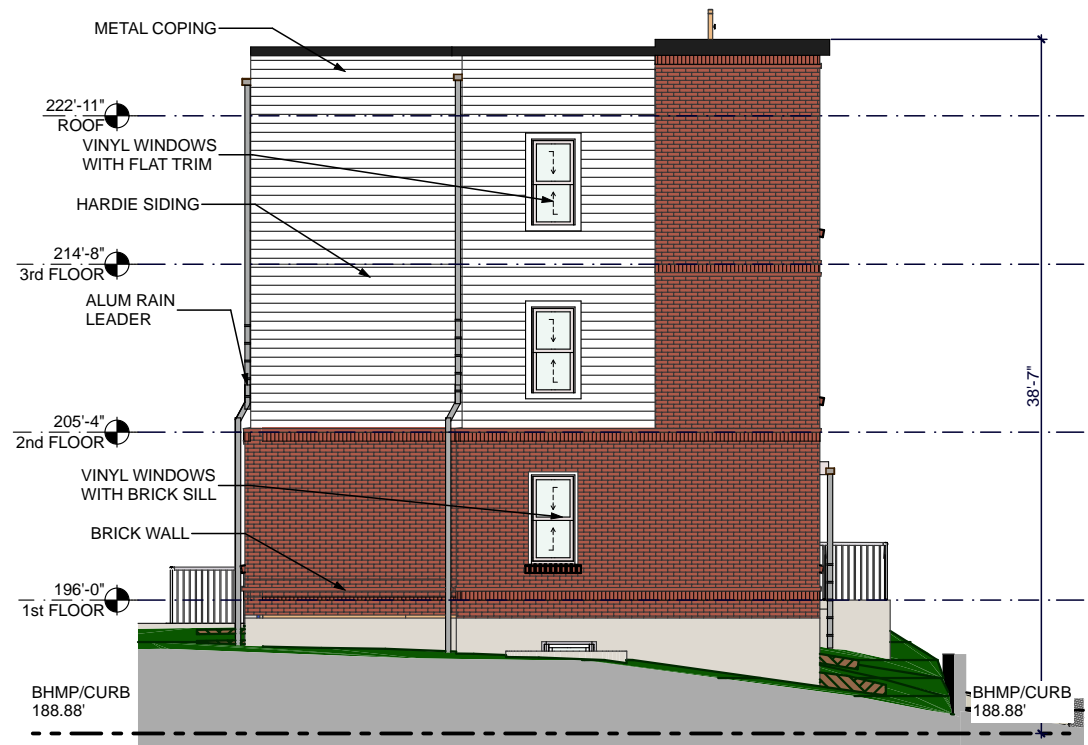
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**EXTERIOR
ELEVATIONS**

BZA-08

Revised: 6/20/20



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION
SCALE: 3/32" = 1'-0"

12TH PLACE RESIDENCES

2611 12TH PLACE SE
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EXTERIOR
ELEVATIONS

BZA-09





1

FRONT(FACING 12TH PL)

NOT TO SCALE

12TH PLACE RESIDENCES

2611 12TH PLACE SE
WASHINGTON, DC 20020

3D IMAGES

BZA-10





1

REAR(FROM ROBINSON PL)

NOT TO SCALE

12TH PLACE RESIDENCES

2611 12TH PLACE SE
WASHINGTON, DC 20020

3D IMAGES

BZA-11

Photo: BBA/PA



1

PARKING LOT SIDE VIEW

NOT TO SCALE

12TH PLACE RESIDENCES

2611 12TH PLACE SE
WASHINGTON, DC 20020

3D IMAGES

BZA-12

Photo: BPA/PA





ELEVATION @ 9 AM



ELEVATION @ 12 PM

12TH PLACE RESIDENCES

2611 12TH PLACE SE
WASHINGTON, DC 20020



ELEVATION @ 5PM



12TH PLACE RESIDENCES

2611 12TH PLACE SE
WASHINGTON, DC 20020

SUN STUDY
ELEVATION

BZA-15

Photo: BBA/B

